

Conditional Use

Name of Property Owner: Jhon Carlos Rincon & Diana Marcela Rios
 Name of Applicant: Jhon Carlos Rincon
 Civic Address of Property: 1809 Princess Ave, Brandon MB R7B0H2
 Legal Description of Property: _____

References:

BAPD Development Plan By-law No. 95/01/12
 Applicable Secondary Plan By-law
 City of Brandon Zoning By-Law No. 7124

Prior to submitting a formal application, the Planning, Property & Buildings Department strongly recommends that all applicants meet with a Community Planner to complete a pre-application review

Conditional Use Request:

As the applicant, I confirm and verify to the City that the information provided in this application is true and complete, and I undertake to observe and perform all provisions of The Planning Act, the Development Plan, the Zoning By-law, and the provisions of other relevant laws, by-laws or agreements.

Signature of Applicant: [Signature] Date: Jan 29th, 19
 Address: 1809 Princess Ave Brandon MB Postal Code: R7B0H2
 Phone No.: (Primary) 204-5702820 (Secondary) _____
 Email Address: malereiipainting@gmail.com

Signature of Owner: [Signature] Date: Jan 29th, 19
 Address: 1809 Princess Ave Brandon MB Postal Code: R7B0H2
 Phone No.: (Primary) 504-570-2820 (Secondary) _____
 Email Address: malereiipainting@gmail.com

The personal information which you are providing is being collected under the authority of The Planning Act and will be used for the purpose of approving this application. Information is also being collected for the purpose of statistical reporting. It is protected by the Protection of Privacy provisions of The Freedom of Information and Protection of Privacy Act. If you have any questions about the collection and/or use of information, contact Jennifer Houllhair, FIPPA Coordinator, City of Brandon Planning, Property & Buildings Department, 638 Princess Avenue Brandon, Manitoba, R7A 0P3, Telephone 204-729-2116

FOR PLANNING DEPARTMENT USE ONLY:			
Community Planner: <u>S. Tembo</u>	Planning File No.: <u>C-01-19-B</u>	CityView No.: <u>PLCU20190000008</u>	
Date Application Received: <u>Jan 30, 19</u>	Payment Date: <u>Feb 5/19</u>	Receipt No.: <u>2019007203</u>	Amount: \$ <u>800.00</u>
Conditional Use - Application			REV 05/2017

January 14, 2019

City of Brandon

Planning, property, and Building Department

638 princess Avenue

Brandon, MB R7B 0P3

RE: Development of duplex at LOT 2 PLAN 63861 BLTO IN SE1/4 22-10-19 WPM (1809 princess Ave)

Our proposal to the city of Brandon is to build a duplex back and forth in the lot mentioned above. This duplex will be the perfect solution for the student and staff at Brandon University who are looking to rent near there. The idea is to provide housing to this area, because BU is getting more and more students every semester, not only from all of Canada, but also from international students.

If you need further information about it, please contact us at 204-570-2820

Thank you for your time,

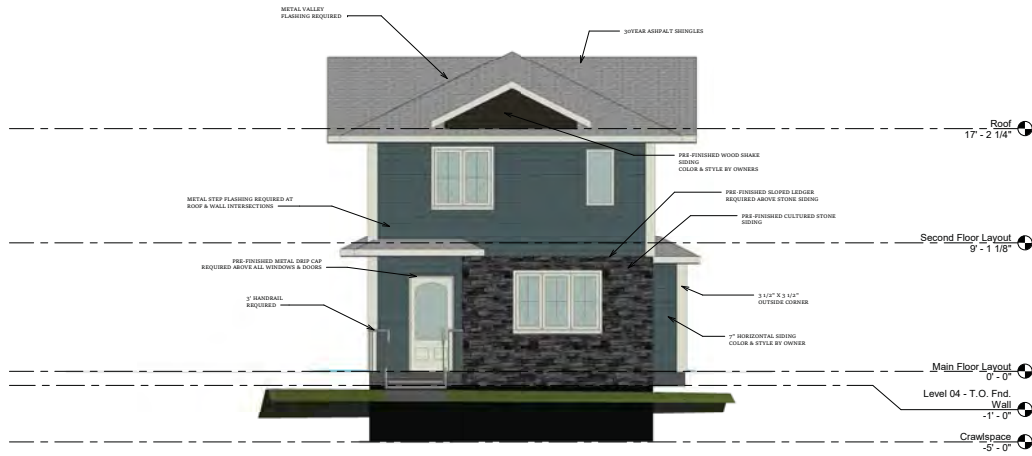


Jhon Carlos Rincon
Diana Marcela Rios



Diana Marcela Rios

January 14, 2019



① Front
1/4" = 1'-0"



② Right
1/4" = 1'-0"

Engineer / Architect Stamp



ALL DIMENSIONS TO BE CONFIRMED ON SITE BY GENERAL CONTRACTOR BEFORE SITE WORK BEGINS, ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER.

Dylan Nease
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Brandon, MB
(204) 796-5493 Ex. #5
Drafting@WestmanLumber.com

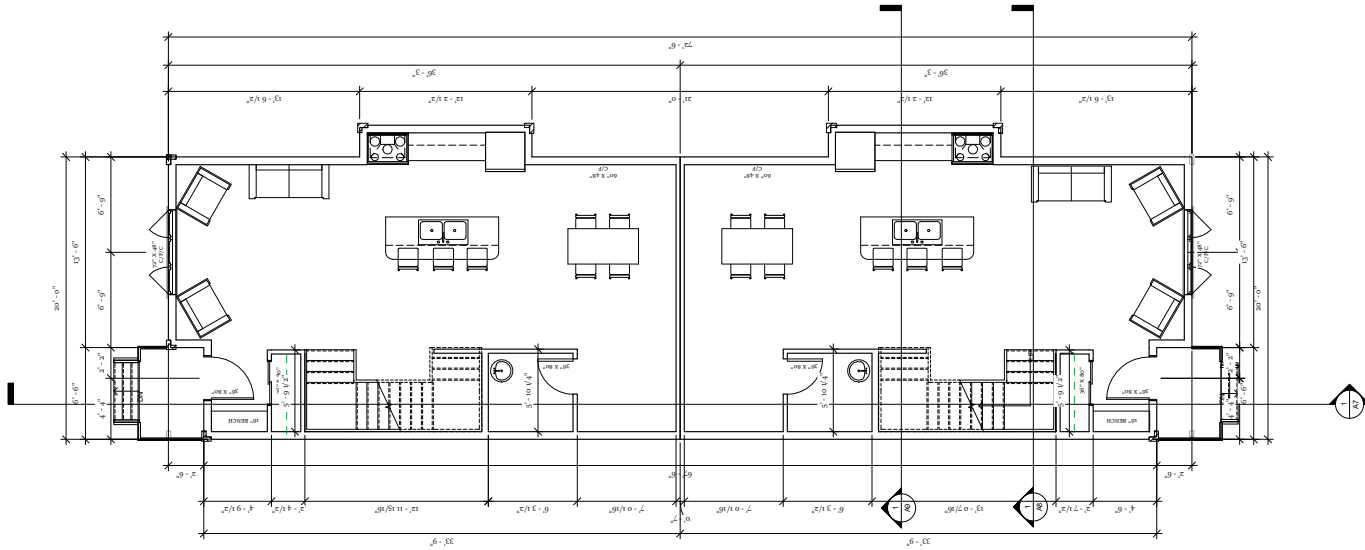
No.	Description	Date

Malereii, Jhon
Duplex
Elevations

Project number 2018.003
Date 2019.01.29
Drawn by Author
Checked by Checker

Handwritten signature

Scale 1/4" = 1'-0"



① Main Floor Layout
1/4" = 1'-0"

Engineer / Architect Stamp.



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Dyck Name
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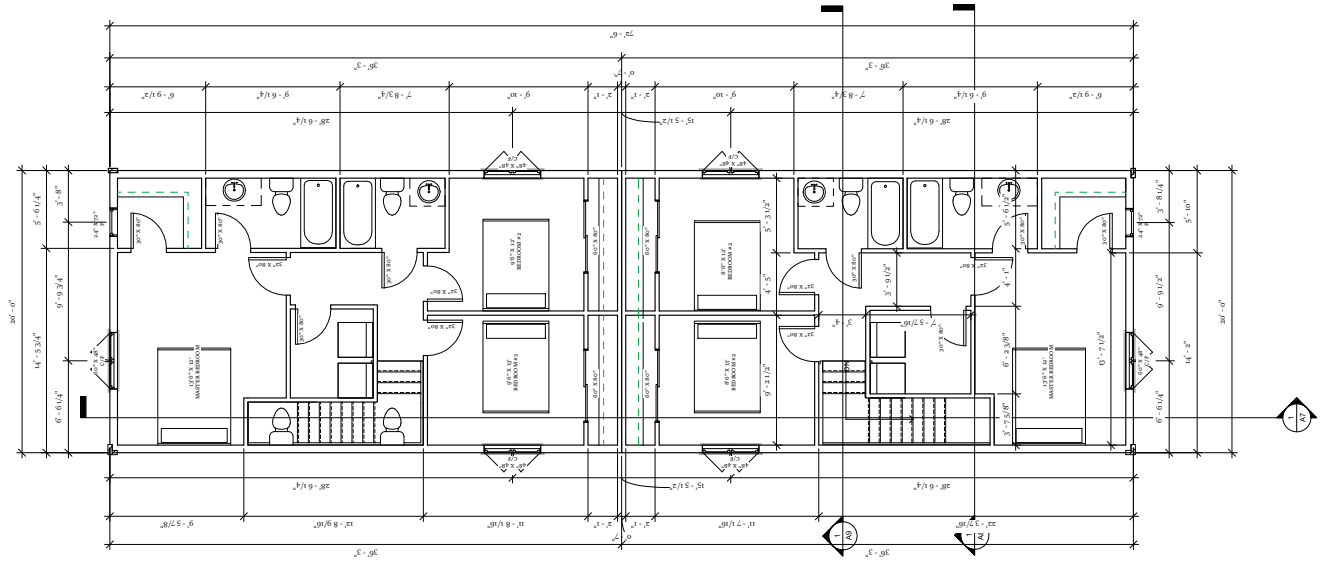
No.	Description	Date

Malereii, Jhon
Duplex
Main Floor Layout

Project number 2018.033
Date 2019.01.23
Drawn by Author
Checked by Checker

AS

Scale 1/4" = 1'-0"



① Second Floor Layout
1/4" = 1'-0"

Engineer / Architect Stamp



ALL DIMENSIONS TO BE CONFIRMED ON SITE BY GENERAL CONTRACTOR BEFORE SITE WORK BEGINS / ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER.

Dyane Nease
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No.	Description	Date

Malereii, Jhon
Duplex
Second Floor Layout

Project number: 2018.033
Date: 2019.01.29
Drawn by: Author
Checked by: Checker

A4

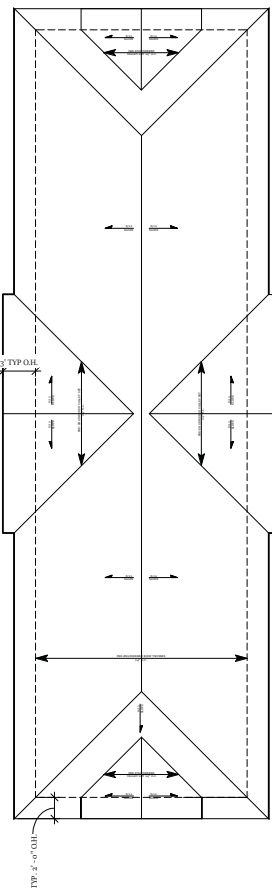
Scale: 1/4" = 1'-0"

GENERAL

- 1. NOTES TO COMPLY WITH SPECIFICATIONS
- 2. THIS BUILDING HAD BEEN DESIGNED IN ACCORDANCE WITH THE 2016 EDITION OF THE MANITOBA BUILDING CODE.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL NECESSARY SHORING, BRACING AND FRAMEWORK. FRAMEWORK FOR NEW CONSTRUCTION SHALL BE BRIDGED OVER EXISTING SERVICES. PROCEDURE MUST BE APPROVED BY THE DESIGN ENGINEER.
- 4. ANY UNSOUND STRUCTURAL CONDITIONS OBSERVED OR CREATED DURING CONSTRUCTIONS ARE TO BE REPORTED TO ENGINEER IMMEDIATELY.
- 5. COORDINATE SIZE AND LOCATION OF ALL OPENINGS IN STRUCTURAL MEMBERS WITH THE TRADES INVOLVED. ALL OPENINGS NOT INDICATED ON STRUCTURAL DRAWINGS TO BE APPROVED BY ENGINEER.
- 6. CONFIRM THE LOCATION OF ALL SUB-GRADE SERVICES PRIOR TO COMMENCING SITE WORK.
- 7. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO ENGINEER IMMEDIATELY. DO NOT SCALE DRAWINGS.
- 8. CONFIRM ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS TO BE REPORTED TO ENGINEER IMMEDIATELY.

STRUCTURAL WOOD

- 1. ALL WOOD FRAMING SHALL BE IN ACCORDANCE WITH CSA 086.
- 2. ALL LUMBER SHALL CONFORM TO 2007 N.L.G.A GRADING RULES FOR CANADIAN LUMBER.]
- 3. WALL STUDS TO BE MINIMUM #2 SPRUCE-PINE-FIR OR BETTER U/N ON DRAWINGS, KILN-DRIED TO A MAXIMUM MOISTURE CONTENT OF 19%
- 4. JEISTS, LINTELS, AND BUILT UP BEAMS TO BE MINIMUM #2 SPRUCE-PINE-FIR OR BETTER U/N ON DRAWINGS, PROPERLY SEASONED TO A MAXIMUM MOISTURE CONTENT OF 19%
- 5. THE CARPENTRY CONTRACTOR IN CONJUNCTION WITH THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ALL TEMPORARY AND PERMANENT BRACING REQUIRED TO PROVIDE THE STABILITY OF THE STRUCTURE.
- 6. ALL PLYWOOD SHEATHING TO BE EXTERIOR GRADE.
- 7. ALL WALL AND ROOF SHEATHING TO BE NAILED SECURE IN A CONTROLLED RANDOM PATTERN.
- 8. THE ROOF TRUSS SUPPLIER SHALL BE RESPONSIBLE FOR THE DESIGN AND SUPPLY OF ALL ROOF TRUSSES, GABLE END TRUSSES, BRIDGING HARDWARE REQUIRED FOR THE CONNECTIONS, AND ALL LINTELS SUBJECT TO CONCENTRATED LOADS.
- 9. THE ROOF TRUSS SUPPLIER SHALL SUBMIT DRAWINGS HEARING THE SEAL OF AN ENGINEER, REGISTERED IN THE PROVINCE OF MANITOBA FOR REVIEW OF:
 - FABRICATION DRAWINGS OF EACH TRUSS TYPE C/W MEMBER SIZES, DIMENSIONS, AND DESGIN INFORMATION.
 - AN ERECTION DRAWING, SHOWING THE LOCATION OF ALL TRUSS AND OTHER INFORMATION REQUIRED BY THE CONTRACTOR FOR THE PROPER INSTALLATION OF THE TRUSSES.
- 10. NO SITE MODIFICATIONS TO BE MADE TO TRUSSES WITHOUT PRIOR APPROVAL OF SUPPLIER AND ENGINEER.
- 11. ALL REPAIRS MADE TO DAMAGED TRUSSES TO BE APPROVED BY SUPPLIER AND ENGINEER.
- 12. ALL BUILT-UP WOOD COLUMNS AND POST TO BE CONTINUOUSLY BLOCKED DOWN TO FOUNDATION.
- 13. PROVIDE ADDITIONAL STUDS (CRIPPLES) BELOW BEARING POINTS OF BUILT-UP BEAMS AND LINTELS. NUMBER OF STUDS TO EQUAL NUMBER OF PLYS OF BEAM OR LINTEL U/N.
- 14. ALL LINTELS FOR STUD BEARING WALLS TO BE 2 PLY 2 X 10 U/N ON DRAWINGS. LINTELS SUBJECT TO CONCENTRATED LOADS TO BE DESIGNED AND SUPPLIED BY MANUFACTURER.
- 15. PROVIDE A MINIMUM BEARING OF 2-1/2' FOR ALL LVL LINTELS.



1 Roof
3/16" = 1'-0"

Engineer / Architect Stamp



ALL DIMENSIONS TO BE CONFIRMED ON SITE BY GENERAL CONTRACTOR BEFORE SITE WORK BEGINS, ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER.

Dylan Nease
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No.	Description	Date

Malereji, Jhon
Duplex
Roof & Notes

Project number	2018.033
Date	2019.01.29
Drawn by	Author
Checked by	Checker

AG

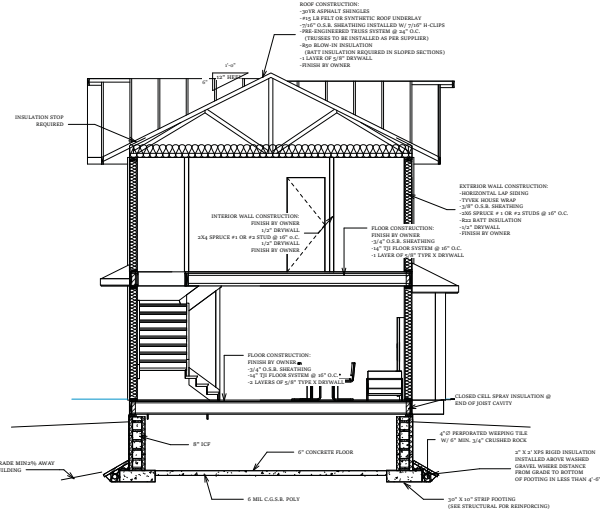
Scale 3/16" = 1'-0"

GENERAL NOTES:

1. ALL CONCRETE BELOW GRADE REQUIRES DAMP-PROOFING AS PER ART. 9.13.2 OF THE MANITOBA BUILDING CODE 2016.
2. EXTERIOR STAIRS AND LANDINGS, WHERE DISTANCE FROM TOP OF STAIRS OR LANDING TO THE FINISHED GRADE IS GREATER THAN 24" BUT LESS THAN 72", REQUIRE GUARD RAILS 36" HIGH MEASURED VERT. FROM A LINE DRAWN THROUGH THE OUTSIDE EDGES OF STAIR NOSINGS & 36" HIGH AT LANDINGS. WHERE THE DISTANCE FROM TOP OF STEPS OR LANDING TO FINISHED GRADE IS GREATER THAN 72", GUARDS FOR STAIRS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERT. FROM A LINE DRAWN THROUGH THE OUTSIDE EDGES OF STAIR NOSINGS & 42" HIGH AT LANDINGS OR BALCONIES. ALL GUARDS WITHIN DWELLING UNITS SHALL BE 36" HIGH AT STAIRS AND LANDINGS.
3. SMOKE ALARMS SHALL BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE SMOKE ALARM. AS PER ART 9.10.19.4 OF THE MBC 2010.
SMOKE ALARMS MUST BE INSTALLED ON EVERY FLOOR LEVEL, INCLUDING BASEMENTS, THAT IS 24" OR MORE ABOVE OR BELOW THE ADJACENT FLOOR LEVEL. SMOKE ALARMS ARE LOCATED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STORY AS PER ART. 9.10.19.3 OF THE MBC 2010. DISTANCE FROM ANY POINT ON A FLOOR LEVEL TO A SMOKE ALARM SHALL NOT EXCEED 49'.
SMOKE ALARMS SHALL CONFORM TO CAN / ULC -5531
4. A CARBON MONOXIDE ALARM IS REQUIRED IN A RESIDENTIAL OCCUPANCY THAT SHARES A WALL OR FLOOR/CEILING ASSEMBLY WITH A STORAGE GARAGE OR THAT IS ADJACENT TO AN ATTIC OR CRAWL SPACE TO WHICH THE STORAGE GARAGE IS ADJACENT. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED AS PER ART. 9.32.3.9. OF MBC 2010
5. EAVESTROUGHS WITH DOWNSPOUTS AND EXTENSIONS ARE REQUIRED TO DRAIN WATER AWAY FROM THE BUILDING. THE FINISHED GRADE AROUND THE BUILDING SHALL BE SLOPED AWAY FROM THE BUILDING TO HELP IN THE DRAINAGE OF WATER.
6. RESIDENTIAL STAIR DIMENSIONS AS PER ART 9.8.4.1 OF THE MBC 2010
RISE = 7,874" MAX. HEIGHT
RUN = 8,268" MIN. TREAD (9,252" W/ NOSING)



7. VENTILATION REQUIREMENTS: AS PER ART 9.32 MBC 2010
-THE OUTDOOR AIR SUPPLY DUCT MUST BE CONNECTED TO THE RETURN AIR PLENUM NOT LESS THAN 10' UPSTREAM OF THE FURNACE OR HAVE AN ACCEPTABLE MIXING DEVICE.
-THE PRINCIPLE EXHAUST FAN MUST BE CONTROLLED BY A MANUAL SWITCH LOCATED CENTRALLY IN THE DWELLING UNIT AND CLEARLY MARKED "VENTILATION FAN", AND THE CONTROL MUST INCLUDE PROVISIONS TO ALLOW REDUCTION OF THE FAN'S FLOW TO WITHIN 50% OF THE TOTAL VENTILATION CAPACITY.
-BATHROOM AND BEDROOM DOORS REQUIRE AN UNDER CUT OF 1/2 OF AN INCH.
-THE KITCHEN PRINCIPAL EXHAUST DUCT IS REQUIRED TO BE FITTED WITH A GREASE FILTER.
8. ATTIC ACCESS HATCH REQUIRED - 20" X 26" MIN. DIMENSIONS AS PER ART 9.19.2.1 OF THE MBC 2010 (LOCATION DETERMINED BY OWNER/CONTRACTOR).
9. FABRICATOR'S DRAWINGS OF FLOOR AND ROOF SYSTEM CERTIFIED BY A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN MANITOBA WILL BE PROVIDED.
10. ALL BEDROOM WINDOWS ARE REQUIRED TO PROVIDE AN UNOBSTRUCTED OPENING WITH AREA NOT LESS THAN 3.8R² AND NO DIMENSION LESS THAN 15" AS PER ART. 9.9.10.1 OF THE MANITOBA BUILDING CODE 2010
11. 'CAB-OVER' FLOOR JOISTS MUST BE INSULATED TO MIN. R-28 AND VAPOUR BARRIER INSTALLED SUFFICIENTLY CLOSE TO WARM SIDE AS PER ARTICLE 9.25.4.3 OF THE MBC 2010
12. DECKS THAT HAVE ANY ONE OF THE FOLLOWING MENTIONED ARTICLES MUST BE CONSTRUCTED AS PER ARTICLE 9.12.2 (2010 MANITOBA BUILDING CODE)
 1. MORE THAN ONE STOREY
 2. WITH A ROOF OVER
 3. MORE THAN 592 SQ.FT.
 4. DISTANCE FROM THE GROUND LEVEL TO THE UNDERSIDE OF DECK JOISTS EXCEED 24"; OR
 5. IS ATTACHED TO ANOTHER STRUCTURE, UNLESS IT CAN BE DETERMINE
THAT THE DIFFERENTIAL MOVEMENT WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THAT STRUCTURE.
13. LINTELS SUBJECT TO CONCENTRATED LOAD TO BE DESIGNED & SUPPLIED BY TRUSS MANUFACTURER
14. FLOORS ON GROUND SHALL BE EQUIPPED WITH A ROUGH IN FOR A SUBFLOOR DEPRESSURIZATION SYSTEM AS PER ART. 9.13.4.3 3) OF THE MBC 2010. CONSISTS OF A 4" PIPE INSTALLED INSTALLED THROUGH THE FLOOR, TO THE CENTER OF THE FLOOR AND CAPPED ABOVE THE FLOOR WITH THE CAP LABELED "RADON"



Section 2
1/4" = 1'-0"

Engineer / Architect Stamp

WESTMAN LUMBER SUPPLY LTD.

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Brandon, MB
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Dylan Niese

No.	Description	Date

Malereii, Jhon
Duplex
Section #2

Project number	2018.033
Date	2019.01.29
Drawn by	Author
Checked by	Checker

A8

Scale 1/4" = 1'-0"

BENCHMARK:
NAIL IN POWER POLE
ELEV: 366.00 m


CIVIC ADDRESS:
1809 Princess Ave,
Brandon, MB

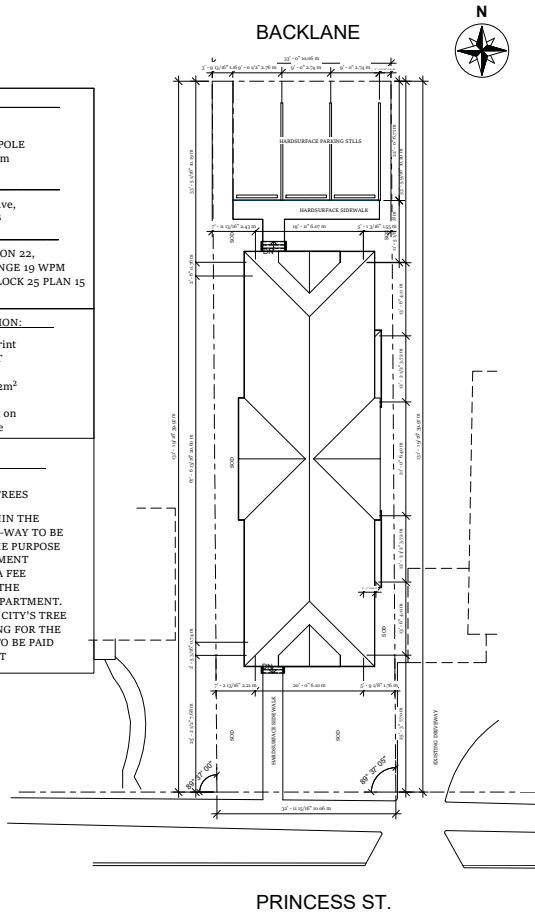
LEGAL ADDRESS:
SE 1/4 SECTION 22,
TOWNSHIP 10, RANGE 19 WPM
BEING LOTS 3,4 & 5 BLOCK 25 PLAN 15
BLTO

BUILDING INFORMATION:
134,71m² Footprint
33.5% of LOT

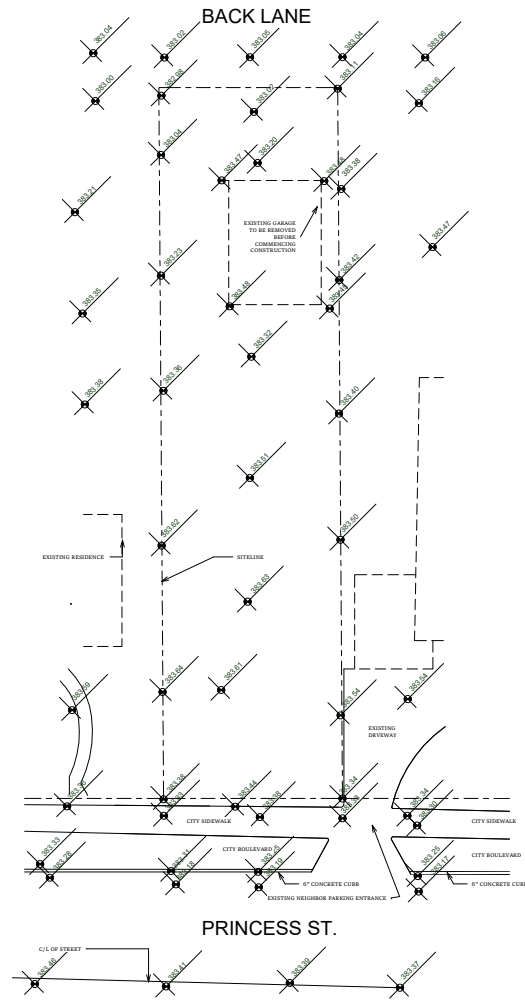
Lot Area: 401.62m²

2 Storey Duplex on
4' Crawlspace

LEGEND:
 EXISTING TREES
-ANY TREES WITHIN THE PUBLIC RIGHT-OF-WAY TO BE REMOVED FOR THE PURPOSE OF THE DEVELOPMENT WILL RESULT IN A FEE DETERMINED BY THE ENGINEERING DEPARTMENT. BASED UPON THE CITY'S TREE CONTRACT PRICING FOR THE CURRENT YEAR. TO BE PAID BY THE APPLICANT



① Site Plan
1 : 125



② Existing Lot
1 : 125

Engineer / Architect Stamp



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Dyane Nason
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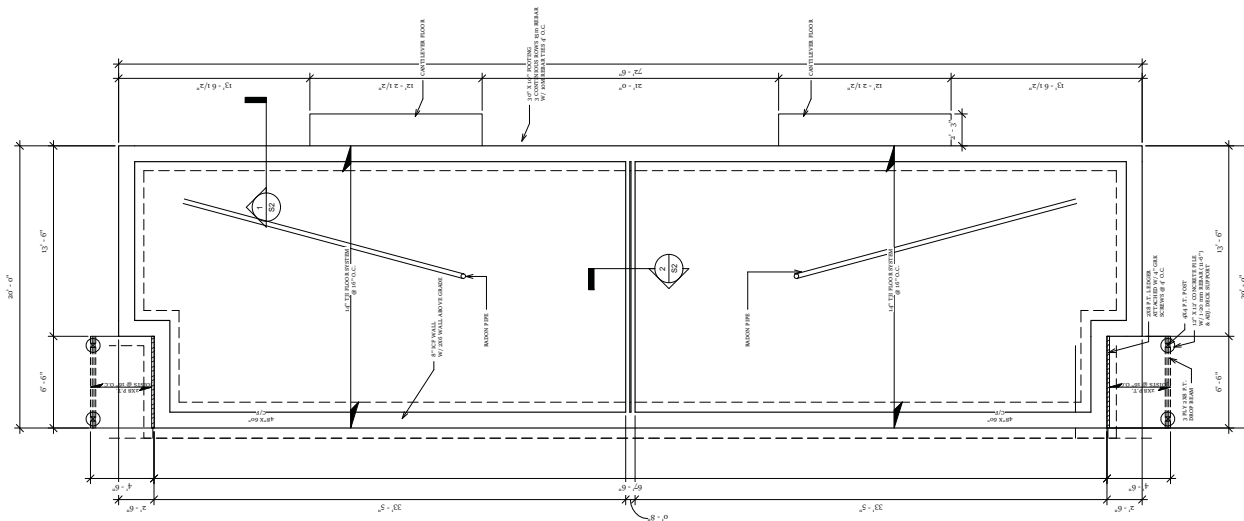
No.	Description	Date

Malerei, Jhon
Duplex
Site

Project number 2018.003
Date 2019.01.29
Drawn by T.N.
Checked by T.N.

A

Scale 1 : 125



1 Foundation
1/4" = 1'-0"

Engineer / Architect Stamp



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Dyer's Name
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No.	Description	Date

Malereii, Jhon
Duplex
Foundation

Project number: 2018.003
Date: 2019.01.29
Drawn by: Author
Checked by: Checker

Scale: 1/4" = 1'-0"

MS

ROOF CONSTRUCTION

FINISH BY OWNER

1/2" G.I.B. SHEATHING

1/4" TO FLOOR SYSTEM @ 48" O.C. (TO BE INSTALLED AS PER SUPPLIER)

4 LAYERS OF 5/8" TYPE X DRYWALL

FRAME PERFORMANCE

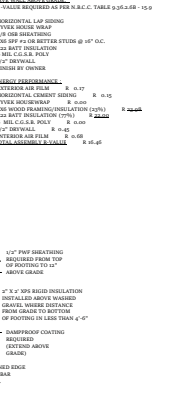
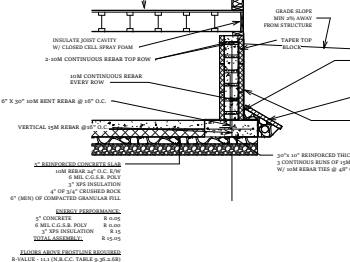
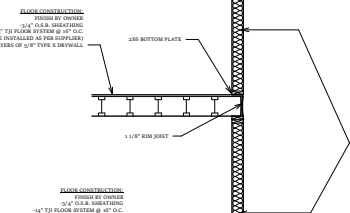
WOOD FRAMING/INSULATION (FPI) R 40-50

STRENGTH FRAMING/INSULATION R 40-50

1/2" TYPE X DRYWALL R 0-05

ROOFING AIR SEAL R 0-02

TOTAL ASSEMBLY R-VALUE R 50+78



1 Eave Wall
3/8" = 1'-0"

2 Separation Wall
3/8" = 1'-0"

ROOF CONSTRUCTION

FINISH BY OWNER

1/2" G.I.B. SHEATHING

1/4" TO FLOOR SYSTEM @ 48" O.C. (TO BE INSTALLED AS PER SUPPLIER)

4 LAYERS OF 5/8" TYPE X DRYWALL

FRAME PERFORMANCE

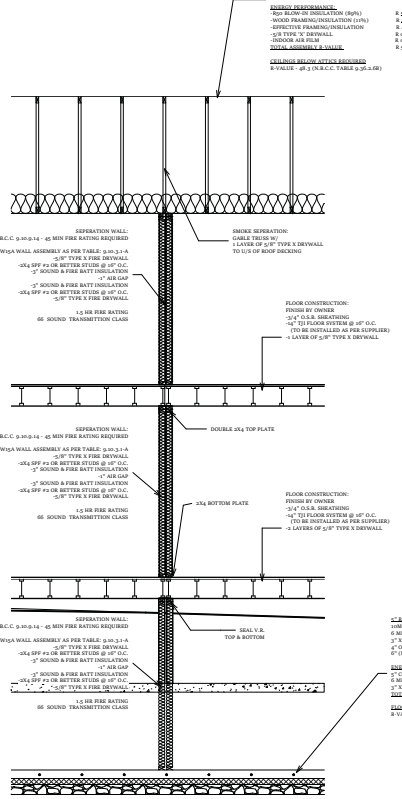
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STRENGTH FRAMING/INSULATION R 40-50

1/2" TYPE X DRYWALL R 0-05

ROOFING AIR SEAL R 0-02

TOTAL ASSEMBLY R-VALUE R 50+78



FOUNDATION CONCRETE SLAB

8 MIL C.I.B. POLY R 0-02

2" INSULATION R 10-15

4" MIN. OF COMPACTED GRANULAR FILL

FRAME PERFORMANCE

CONCRETE R 8-02

8 MIL C.I.B. POLY R 0-02


2" INSULATION R 10-15

TOTAL ASSEMBLY R 15-15

WOOD SILL PLATE/FLOORING

R-VALUE: (N.B.C. TABLE 9.36.6(R))

Engineer / Architect Stamp



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No.	Description	Date

Malerei, Jhon
Duplex
Const. Details

Project number 2018.033
Date 2019.01.28
Author
Checked by Checker

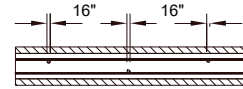
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Scale 3/8" = 1'-0"

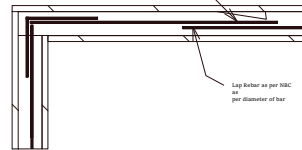
CONCRETE

1. CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF CAN 3-A23.1 FOR "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" INCLUDING COLD WEATHER REQUIREMENTS WHEN THE TEMPERATURE FALLS BELOW 5(DEGREES)C
 2. THE CONCRETE MUST BE MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10(DEGREES)C FOR 72 HOURS AFTER PLACING AS PER ART 9.3.1.9. OF THE MBC 2010
 3. TYPE 10 FOR ALL CONCRETE.
 4. CONCRETE DESIGN STRENGTH @28 DAYS:
25 MPA: ALL OTHER CONCRETE U/N
 5. AGGREGATE SIZE:
MAX 1 1/2" FOR PILE CAPS & PILES
MAX 3/4" FOR ALL OTHER CONCRETE
MAX 1/2" FOR MASONRY LINTELS AND CORE FILL.
 6. SLUMP:
4" +/- 3/4" FOR ALL CONCRETE
EXCEPT 6" +/- 3/4" FOR MASONRY FILL.
 7. AIR ENTRAINMENT:
3% +/- 1% EXTERIOR CURBS AND RAMPS.
- FOUNDATION**
1. PADS ARE DESIGNED FOR A MAXIMUM BEARING PRESSURE OF 2000 PSF.
 2. ALL FOOTINGS SHALL EXTEND A MINIMUM OF 18" INTO NATIVE UNDISTURBED SOIL, AND BEAR ON A LEVEL SURFACE CAPABLE OF SUPPORTING THE MAXIMUM DESIGN PRESSURE.
 3. CONCRETE FOR FOOTINGS, PADS AND PIERS SHALL BE 25 MPA @ 28 DAYS. TYPE 10 CEMENT, 3/4" MAX AGGREGATE SIZE, 5" SLUMP.
 4. ALL EXTERIOR FOOTINGS SHALL HAVE AT LEAST 4' OF EARTH COVER, OR EQUIVALENT INSULATION FOR FROST PROTECTION.
 5. FOOTING BASES SHALL BE STOPPED AT A MAXIMUM 1 TO 1 SLOPE WHERE BEARING LEVELS VARY.
 6. FOOTING EXCAVATIONS & FOOTINGS TO BE PROTECTED FROM FROST AT ALL TIMES, DURING CONSTRUCTION.
 7. COMPACT ALL GRANULAR FILL TO 95% SPD IN MAXIMUM 6" LIFTS.
 8. SONOTUBE NOTE: DOWEL ALL SONOTUBES INTO FOOTING W/ 1-10M BAR 12" LONG.
 9. MINIMUM 4" OF COMPACTED CLEAN GRANULAR FILL, (MAX 10% PASSING A #4MM SIEVE, LO. 3/4" CRUSHED ROCKS AS PER 9.16.2.1 OF THE MBC 2010, SHALL BE PLACED UNDER BASEMENT SLABS.
 10. REMOVE ANY ORGANIC OR DELETERIOUS MATERIAL ENCOUNTERED UNDER FOUNDATION AND REPLACE WITH GRANULAR FILL COMPACTED TO 95% SPD IN MAX 6" LIFTS
- REINFORCING**
1. ALL BARS TO CONFORM TO CSA C30.18-M92.
15MBARS AND LARGER TO BE GRADE 400
10M BARS AND SUPPORTING RODS TO BE GRADE 300 OR BETTER
 2. ALL STEEL TO BE DETAILED IN ACCORDANCE WITH THE CURRENT ACI DETAILING MANUAL.
 3. CLEAR COVER TO DEINFORCING: (UNLESS NOTED OTHERWISE)
 - 3/4" STRUCTURAL SLABS
 - 1" INTERIOR FACE OF WALLS
 - 1 1/2" FACE OF GRADE BEAMS
 - 2" EXTERIOR FACE OF WALLS, BOTTOM OF GRADE BEAMS & WALLS
 - 3" PILE CAPS
 - 3" BOTTOM OF FOOTINGS
 4. IN CONCRETE BEAMS, BEND HORIZONTAL REINFORCING 24" AROUND CORNERS, OR USE EXTRA CORNER BARS 24" X 24"
 5. ALL REINFORCING STEEL SHALL BE CLEANED OF ALL DIRT, GREASE AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING.
 6. ALL REINFORCING SHALL BE NEW BILLET DEFORMED BARS.

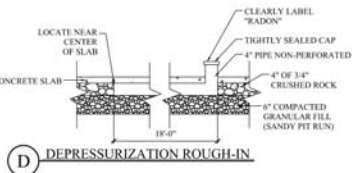
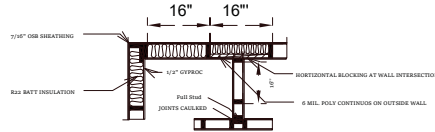
ICF WALL REBAR PLACEMENT



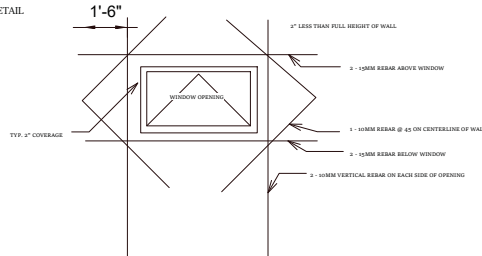
REBAR OVERLAP DETAIL



EXTERIOR WALL DETAIL / INTERIOR WALL CONNECTION



WINDOW REBAR DETAIL



Engineer / Architect Stamp



ALL DIMENSIONS TO BE CONFIRMED ON SITE BY GENERAL CONTRACTOR BEFORE SITE WORK BEGINS, ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER.

Dyane Njane
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No.	Description	Date

Malereii, Jhon
Duplex
Const. Details

Project number	2018.033
Date	2019.01.28
Drawn by	Author
Checked by	Checker

Scale 1/4" = 1'-0"